

Detect. Review. Prevent.

SAMPLE REPORT

Sample Document Review Report

A demonstration report showing how Redline Markups identifies document conflicts, scope gaps, coordination risks, suggested RFIs, and recommended next steps before construction starts.

PROJECT TYPE

Commercial Interior Renovation

REVIEW TYPE

Full Document Review

DOCUMENT SET

Architectural + Structural + MEP +
Scope Notes

REPORT STATUS

Sample Report - Demonstration Only

PREPARED BY

Redline Markups

CONTACT

review@redlinemarkups.com
redlinemarkups.com

REPORT SNAPSHOT

Contents and key metrics



01	Report Overview Objective, deliverables, and review purpose.	02	Review Scope Documents reviewed, review focus, and limitations.
03	Executive Summary Major findings and risk observations.	04	Severity Classification How issues are ranked and prioritized.
05	Issue Register Complete list of sample findings.	06	Redlined Sheet Sample Visual markup example and callout references.
07	Detailed Findings Expanded explanation of selected issues.	08	Suggested RFIs RFI-ready questions for the project team.
09	Risk Summary Top risk categories and recommended priorities.	10	Disclaimer + Contact Scope limitations and quote request information.

01. REPORT OVERVIEW

This sample report shows how Redline Markups identifies document conflicts, missing information, unclear scope, and coordination risks before construction starts.

The objective of this review is not to redesign the project or replace the architect, engineer, contractor, or owner's professional team. The objective is to provide an independent second review that makes document risks visible, trackable, and easier to resolve before they become field issues.

<p>Redlined PDF Sheets</p> <p>Marked-up sheets showing issue locations and visual on e</p>	<p>Issue Register</p> <p>Numbered list with severity, discipline, sheet, finding, action, and status.</p>	<p>Suggested RFIs</p> <p>Clear questions that can be converted into RFIs or coordination notes.</p>	<p>Risk Summary</p> <p>High-level view of the most important risks to resolve first.</p>
---	--	--	---

03. EXECUTIVE SUMMARY

Redline Markups identified multiple document issues that should be clarified before procurement, coordination, or field work begins.

- Total findings: 34
- High severity: 8
- Medium severity: 17
- o se er
- n or on
- Suggested RFIs: 12

KEY OBSERVATION

Several issues appear minor on paper but can create cost impact, rework, schedule delay, or field coordination problems if left unresolved.

r r rs re s oor n on sr r on s ss n
s ope ns s e e n onss en es n es ee sons

02. REVIEW SCOPE

Documents reviewed in this sample

Documents Reviewed

- Architectural drawings
- Structural drawings
- MEP coordination sheets
- Scope notes
- Finish schedule
- Door schedule
- Estimate assumptions
- Project coordination notes

Review Focus

- Missing dimensions
- Drawing inconsistencies
- Scope gaps
- Specification conflicts
- Trade coordination issues
- Constructability risks
- Estimate and scope alignment
- Items requiring clarification

Not Included

- Sealed architectural design
- Sealed engineering design
- Code compliance certification
- Final construction decisions
- Substitution approvals
- Permit review
- Field verification
- Legal interpretation of contracts

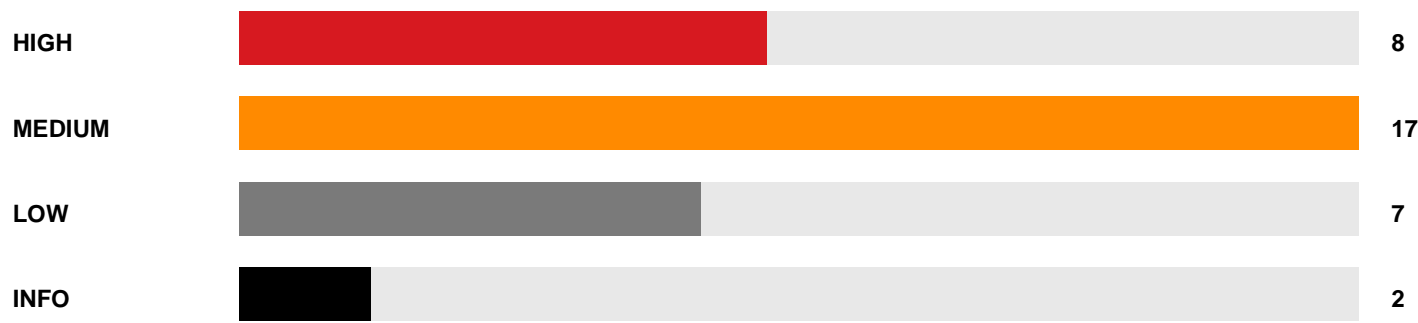
04. SEVERITY CLASSIFICATION

Every issue is ranked by urgency and impact.

Severity helps the project team separate critical risks from documentation cleanup. This sample uses four levels: High, Medium, Low, and Informational.

<div style="background-color: red; color: white; padding: 5px; text-align: center; margin-bottom: 10px;">HIGH</div> <h2 style="margin: 0;">HIGH</h2> <p style="margin: 10px 0 0 20px;">Issues that may create cost impact, schedule delay, rework, procurement risk, field conflict, or major scope uncertainty.</p>	<div style="background-color: orange; color: white; padding: 5px; text-align: center; margin-bottom: 10px;">MEDIUM</div> <h2 style="margin: 0;">MEDIUM</h2> <p style="margin: 10px 0 0 20px;">Issues that require clarification before pricing, coordination, fabrication, procurement, or construction.</p>	<div style="background-color: gray; color: white; padding: 5px; text-align: center; margin-bottom: 10px;">LOW</div> <h2 style="margin: 0;">LOW</h2> <p style="margin: 10px 0 0 20px;">Minor inconsistencies, missing references, or documentation cleanup items that should be corrected.</p>	<h2 style="margin: 0;">INFO</h2> <p style="margin: 10px 0 0 20px;">General observations or recommended checks that may support project coordination.</p>
---	---	--	--

FINDING COUNT BY SEVERITY



PRIORITY RULE

High severity issues should be clarified before pricing, procurement, fabrication, or field execution.

05. ISSUE REGISTER

Issue Register - Part 1

ID	Severity	Discipline	Sheet	Finding	Recommended Action	Status
R-001	HIGH	MEP / Structural	M-201 / S-102	24 in. supply duct conflicts with W24x76 structural beam at Level 2. Current routing does not provide required clearance.	Submit RFI to confirm alternate duct routing or structural coordination requirement.	Open
R-002	HIGH	Plumbing / Structural	P-101 / S-101	4 in. sanitary line crosses steel beam elevation at restroom chase. Sleeve location is not shown or coordinated.	Confirm sleeve location and structural opening requirements before procurement.	Open
R-003	MED	Scope / Estimate	Scope Notes	Finish patching is shown in architectural notes but excluded from estimate scope.	Clarify responsibility for patching, finish repair, and final paint touch-up.	Review
R-004	LOW	Architectural	A-201	Door tag D-214 is shown on plan but missing from door schedule.	Update door schedule or confirm tag is not required.	Note
R-005	MED	Architectural / Specs	A-601 / Specs	Specification note references alternate wall finish not shown in finish schedule.	Confirm selected finish before pricing and procurement.	Review
R-006	HIGH	MEP / Architectural	M-202 / A-301	MEP routing conflicts with required ceiling clearance at corridor transition.	Coordinate ceiling height, duct routing, and access panel layout.	RFI
R-007	MED	Electrical	E-101	Power outlet locations conflict with millwork elevation in reception area.	Confirm final outlet locations with millwork layout before rough-in.	Open
R-008	HIGH	Scope	Scope Notes / Estimate	Demolition notes include removal of existing ceiling grid, but replacement ceiling is not included in estimate.	Clarify ceiling replacement scope and pricing responsibility.	Open
R-009	MED	Architectural	A-401	Restroom accessory mounting heights are not coordinated with tile elevations.	Confirm mounting elevations and backing requirements.	Review
R-010	LOW	Architectural	A-101	Grid reference B.3 is shown on plan but not referenced on the enlarged plan.	Clean up reference or confirm grid label.	Note
R-011	HIGH	Mechanical / Ceiling	M-101 / A-701	Access panel required for VAV box is not coordinated with reflected ceiling plan.	Confirm access panel size and final ceiling location.	RFI
R-012	MED	Estimate	Estimate Summary	Allowance for firestopping is included but not tied to penetrations shown in MEP sheets.	Clarify firestopping scope by trade and include basis of quantity.	Review

05. ISSUE REGISTER

Issue Register - Part 2

ID	Severity	Discipline	Sheet	Finding	Recommended Action	Status
R-013	MED	Structural	S-301	Base plate detail does not indicate anchor bolt diameter for new steel post.	Confirm anchor bolt size, embedment, and installation requirement.	RFI
R-014	HIGH	Civil / Architectural	C-101 / A-101	Exterior door landing elevation conflicts with civil grading at west entry.	Coordinate finished floor, landing slope, and ADA threshold requirement.	Open
R-015	LOW	Specifications	Specs 09 91 00	Paint specification references Level 5 finish in public areas, but drawings do not identify wall finish levels.	Confirm wall finish level by area.	Note
R-016	MED	Electrical / Furniture	E-201 / I-101	Floor box locations do not align with furniture layout in conference room.	Coordinate final furniture plan before slab/core work.	Review
R-017	HIGH	Fire Protection	FP-101	Sprinkler layout is not coordinated with new soffit and ceiling height changes.	Confirm revised sprinkler head locations and code clearance requirements.	RFI
R-018	MED	Plumbing	P-201	Cleanout access is shown behind fixed millwork.	Revise cleanout location or provide removable access panel.	Open
R-019	LOW	Architectural	A-602	Finish tag F-07 is used on plan but missing from finish legend.	Add finish tag to legend or remove tag from plan.	Note
R-020	MED	Scope	Bid Form	Temporary protection is required in notes but not identified as a bid line item.	Clarify inclusion for protection, dust control, and daily cleanup.	Review
R-021	HIGH	Structural / Architectural	S-102 / A-202	New opening shown in architectural plan is not reflected in structural framing plan.	Confirm lintel/framing requirements before demolition.	RFI
R-022	MED	MEP Coordination	M-301 / E-201	Equipment disconnects are not shown adjacent to mechanical equipment schedule locations.	Coordinate disconnect location and electrical scope.	Open
R-023	LOW	Architectural	A-101	Room name differs between floor plan and finish schedule.	Update room naming for consistency.	Note
R-024	MED	Estimate	Quantity Takeoff	Flooring quantity appears to exclude storage room shown on plan.	Recheck flooring area and revise quantity basis.	Review

05. ISSUE REGISTER

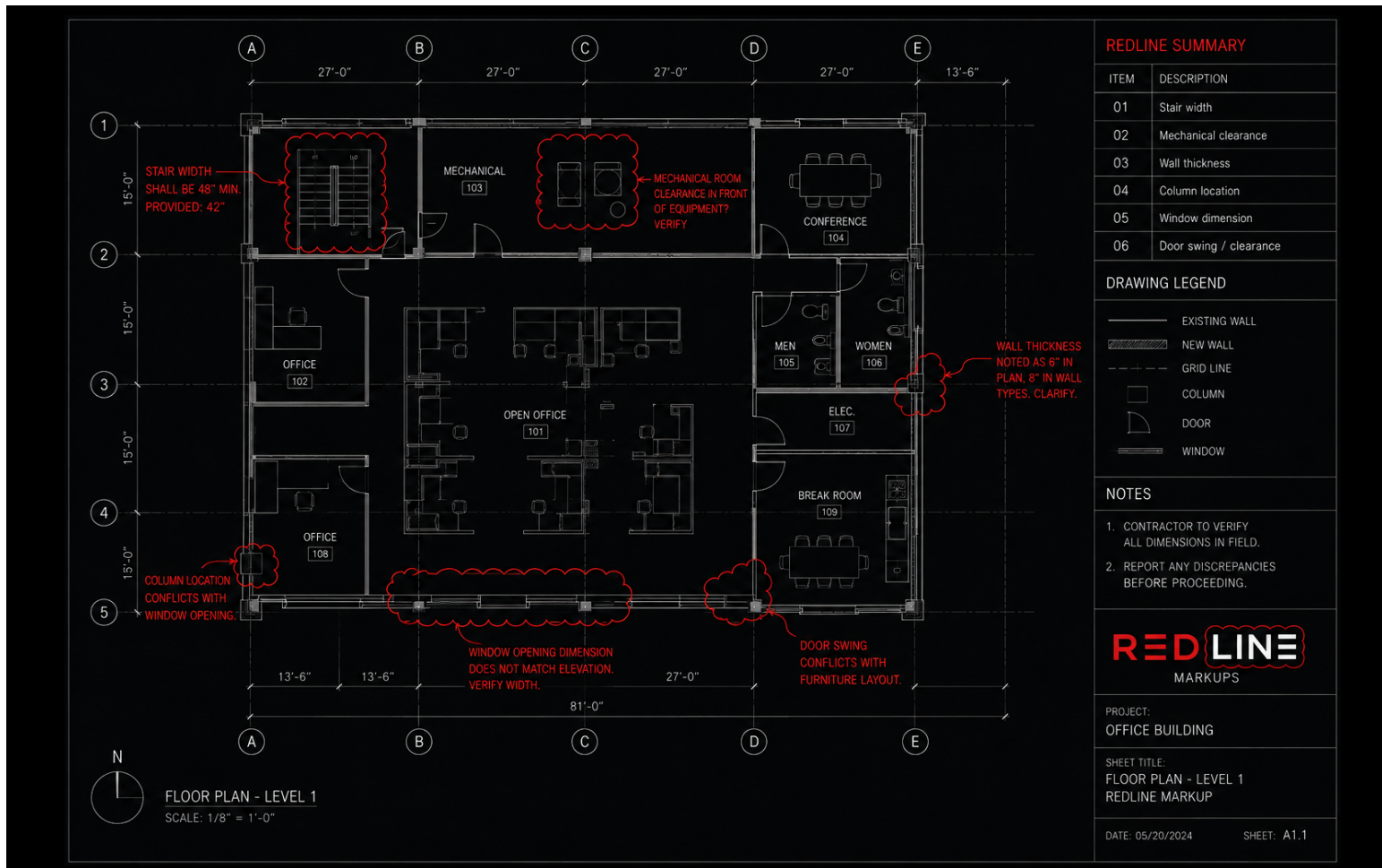
Issue Register - Part 3

ID	Severity	Discipline	Sheet	Finding	Recommended Action	Status
R-025	HIGH	Envelope	A-501	Flashing detail is referenced but not provided at storefront head condition.	Provide flashing detail or confirm manufacturer standard detail.	RFI
R-026	MED	Architectural / Door	A-801	Door hardware set is missing for fire-rated door at stair access.	Confirm hardware set and rating requirements.	Open
R-027	LOW	MEP	M-101	Equipment tag AHU-2 appears in schedule but not on plan.	Confirm equipment location or remove schedule entry.	Note
R-028	MED	Specifications	Specs 08 11 13	Hollow metal frame specification conflicts with aluminum frame note on elevations.	Confirm frame material and update documents.	Review
R-029	HIGH	Electrical / Life Safety	E-301 / LS-101	Exit sign location conflicts with reflected ceiling plan and door swing.	Coordinate exit sign mounting and final location.	RFI
R-030	MED	Plumbing / Architectural	P-101 / A-401	Lavatory rough-in locations do not align with restroom elevation dimensions.	Confirm fixture centerlines before rough-in.	Open
R-031	LOW	General Notes	G-001	Abbreviation legend includes terms not used in drawing set.	Remove unused abbreviations or keep as standard office legend.	Info
R-032	MED	Scope / Specs	Specs / Estimate	Acoustic sealant is specified but not included in partition scope narrative.	Clarify acoustic sealant responsibility and locations.	Review
R-033	HIGH	Coordination	A-201 / M-201 / E-201	Ceiling-mounted devices, diffusers, and lights overlap in open office ceiling grid.	Coordinate final reflected ceiling layout before procurement.	RFI
R-034	INFO	Document Control	Sheet Index	Revision dates differ between sheet index and individual sheets.	Confirm latest issue set and update document control table.	Info

06. REDLINED SHEET SAMPLE

Visual markup example

Redlined sheets provide visual context. The issue register remains the primary tracking tool for assigning, clarifying, and closing each issue.



SHEET NOTES

R-001
Mechanical duct conflict with structural beam.

R-004
Door tag missing from schedule.

R-006
Ceiling clearance conflict at corridor transition.

R-007
Outlet location conflicts with millwork elevation.

07. DETAILED FINDINGS

Selected findings with impact and next action.

R-001

HIGH

MEP / Structural - Coordination Conflict

Finding: The mechanical duct routing shown on M-201 appears to conflict with the structural beam shown on S-102. Based on the current routing, required clearance does not appear achievable without rerouting, reducing duct size, or revising ceiling coordination.

Potential impact: Field conflict; RFI delay; ceiling height reduction; rework; additional coordination cost.

Recommended action: Submit RFI to confirm alternate routing, beam penetration requirements, or revised ceiling coordination.

R-008

HIGH

Scope / Estimate - Scope Gap

Finding: The demolition notes require removal of the existing ceiling grid. However, the estimate does not clearly include replacement ceiling grid, acoustic tile, edge trim, or related finish work.

Potential impact: Missing cost in estimate; change order risk; schedule impact; scope dispute between GC and subcontractor.

Recommended action: Clarify whether ceiling replacement is included, excluded, or owner-provided before final pricing.

R-021

HIGH

Structural / Architectural - Missing Structural Scope

Finding: A new wall opening is shown on the architectural drawings, but the structural framing plan does not show a lintel, header, or reinforcement detail at the opening.

Potential impact: Unsafe field assumption; demolition delay; structural RFI; added cost after mobilization.

Recommended action: Confirm framing requirements and update documents before demolition or procurement.

08. SUGGESTED RFIS

RFI-ready questions for the project team.

Suggested RFIs are written to help the project team clarify missing information quickly. They can be copied into the project RFI log or used as coordination meeting items.

RFI 001	Please confirm how the 24 in. supply duct shown on M-201 is intended to route through the area of the W24x76 structural beam shown on S-102.	RFI 002	Please confirm whether a sleeve or structural opening is required for the 4 in. sanitary line crossing the beam elevation at the restroom chase.
RFI 003	Please confirm responsibility for finish patching, paint touch-up, and wall repair in areas affected by demolition.	RFI 004	Please confirm whether door tag D-214 should be added to the door schedule or removed from the plan.
RFI 005	Please confirm final finish selection where specifications reference an alternate wall finish not shown in the finish schedule.	RFI 006	Please confirm ceiling height, access panel location, and duct routing at corridor transition shown on A-301 and M-202.
RFI 007	Please confirm whether the replacement ceiling grid and acoustic tile are included in contractor scope or owner-provided scope.	RFI 008	Please confirm anchor bolt diameter, embedment, and base plate installation requirements for new steel post shown on S-301.
RFI 009	Please confirm revised sprinkler head locations where the new soffit and ceiling height changes occur.	RFI 010	Please confirm structural requirements for the new opening shown on A-202 and whether a lintel or supplemental framing is required.
RFI 011	Please confirm storefront head flashing requirement and provide missing detail reference.	RFI 012	Please confirm final ceiling coordination between lighting, diffusers, exit signs, and access panels in the open office area.

09. RISK SUMMARY

Highest risk categories



10. RECOMMENDED NEXT STEPS

- 01**
Review all High severity items with the project team.
- 02**
Convert suggested RFIs into formal project RFIs if needed.
- 03**
Update drawings, schedules, scopes, or estimates based on confirmed responses
- 04**
Recheck affected sheets after revisions.
- 05**
Confirm pricing impact before procurement or field work begins.

11. DISCLAIMER

This sample report is provided for demonstration purposes only.

Redline Markups provides independent document review, markup support, issue identification, and coordination observations. RedLine Markups does not provide sealed architectural, engineering, structural, or code-compliance services. All final design, engineering, construction, and code decisions remain the responsibility of the project's licensed professionals, owner, contractor, and construction team.



Detect. Review. Prevent.

12. REQUEST A REVIEW

Send your document set before the issue reaches the field.

To request a fixed-scope quote, submit your project information through the website or email your document package.

[REQUEST A QUOTE](#)

review@redlinemarkups.com

www.redlinemarkups.com

DETECT. REVIEW. PREVENT.